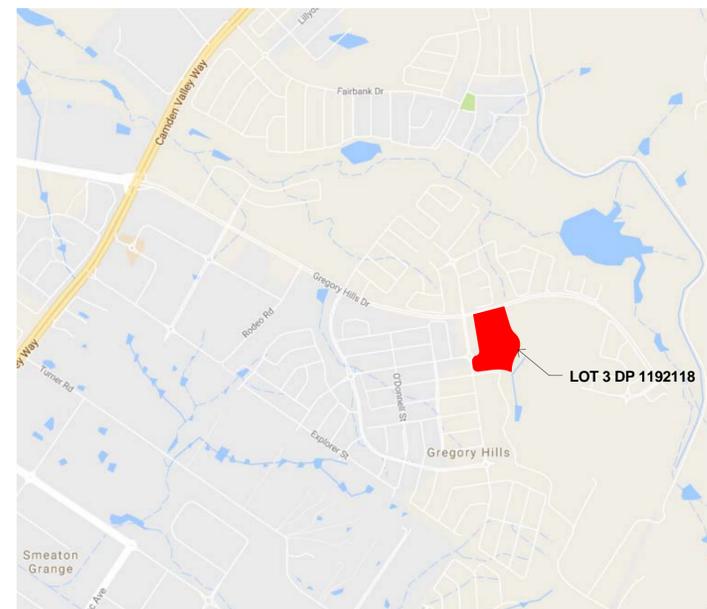


# GREGORY HILLS TOWN CENTRE

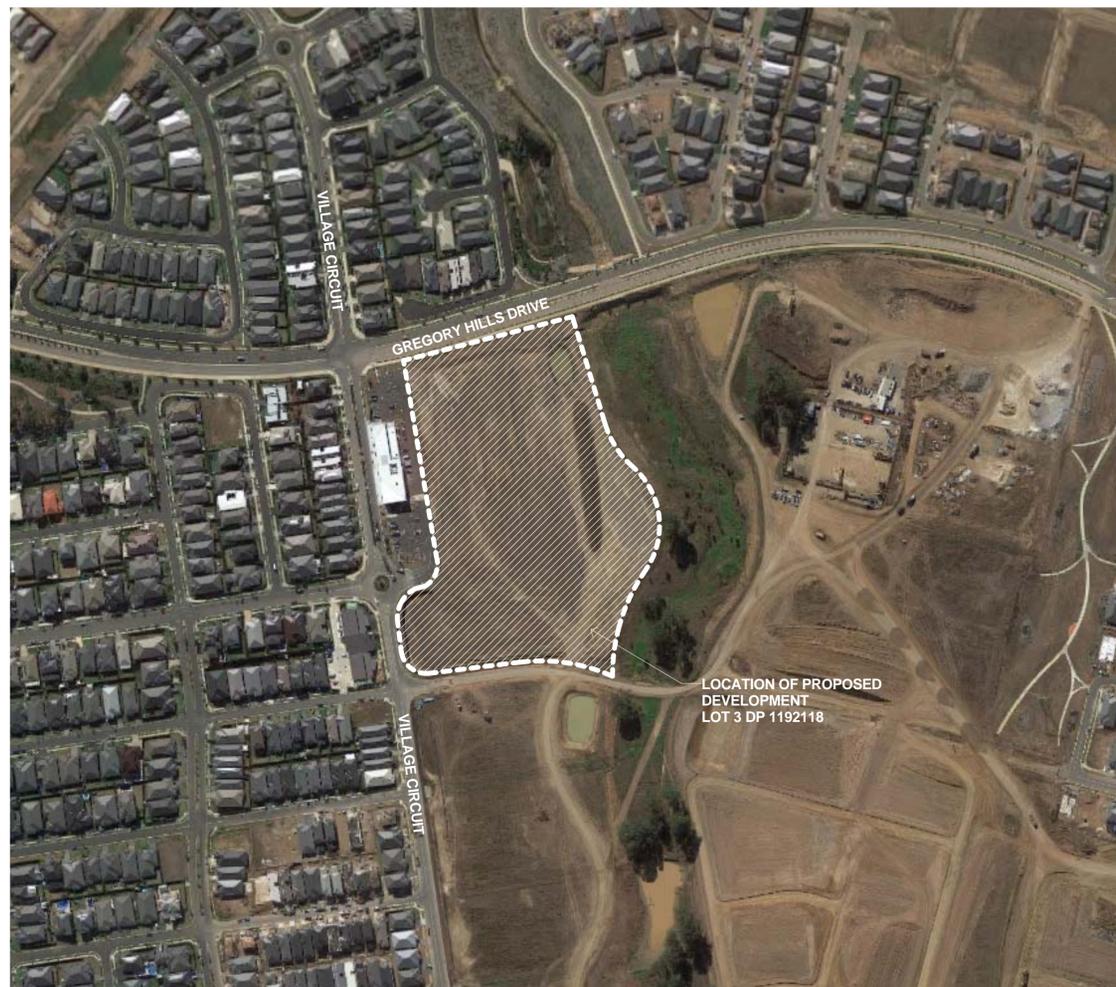
## DEVELOPMENT APPLICATION

33 VILLAGE CIRCUIT, GREGORY HILLS,  
NSW 2557

DRAWING LIST - DEVELOPMENT APPLICATION	
Sheet Number	Sheet Name
A00.01	TITLE SHEET, LOCATION PLAN & DRAWING LIST
A00.20	GLAR & CARPARKING ANALYSIS
A00.30	SAFETY IN DESIGN STATEMENT
A00.80	SOLAR STUDY
A01.00	EXISTING - SURVEY PLAN
A01.01	EXISTING & DEMOLITION - SITE PLAN
A02.01	PROPOSED SITE PLAN - ROOF LEVEL
A06.01	PROPOSED FLOOR PLAN - GROUND LEVEL
A06.10	PROPOSED FLOOR PLAN - ROOF LEVEL
A10.01	PROPOSED ELEVATIONS - NORTH
A10.02	PROPOSED ELEVATIONS - SOUTH
A10.03	PROPOSED ELEVATIONS - EAST
A10.04	PROPOSED ELEVATIONS - WEST
A12.01	PROPOSED SITE SECTIONS
A60.01	PROPOSED SIGNS & DISPLAYS
A100.10	PERSPECTIVES
A100.11	PERSPECTIVES
A100.90	MATERIALS SAMPLE BOARD



LOCATION MAP



LOCATION AERIAL PLAN



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
DART WEST DEVELOPMENTS  
SHOP 1, 33 VILLAGE CIRCUIT,  
GREGORY HILLS, NSW 2557  
T: (02) 4648 5511

**Project Manager**

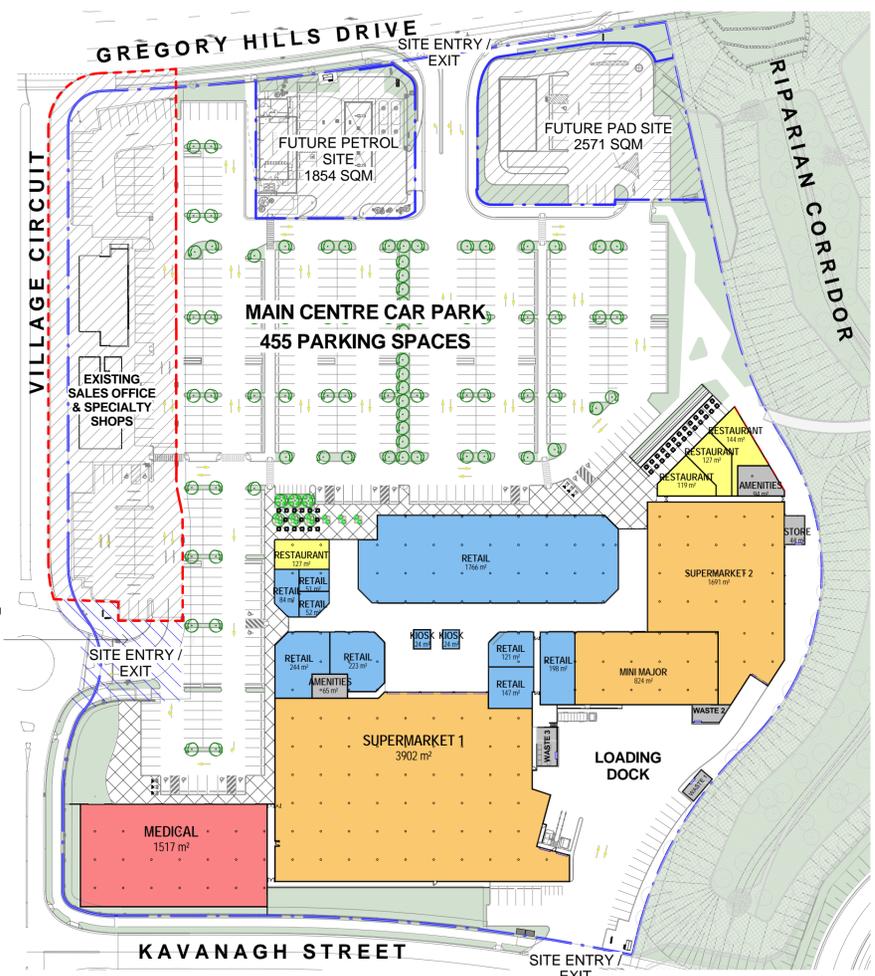
**Architect**  
**BN** Architecture  
Urban Design  
Masterplanning  
Graphics  
Interiors  
BN Group Pty Ltd T +61 2 9437 0511  
82 Alexander Street F +61 2 9437 0522  
Crows Nest, NSW 2065 www.bngrrouponline.com  
ABN 43 092 960 499 sydney@bngrrouponline.com

**Project**  
GREGORY HILLS TOWN CENTRE  
33 VILLAGE CIRCUIT, GREGORY HILLS  
NSW 2557  
LOT 3 DP 1192118

**Sheet name**  
TITLE SHEET, LOCATION  
PLAN & DRAWING LIST  
Scale @ A1: NTS  
Project No.: S1517  
Drawn By: CF Checked By: AL

ADD SERIES - INFORMATION & ANALYSIS	
Drawing No.	Stage - Rev
A00.01	DA-03

DEVELOPMENT APPLICATION  
NOT FOR CONSTRUCTION



- GLAR LEGEND**
- = SUPERMARKET / MINI MAJOR
  - = RETAIL
  - = RESTAURANTS / CAFE
  - = MEDICAL
  - = AMENITIES / WASTE / STORE

PROPOSED MODIFICATION TO EXISTING APPROVED SITE BOUNDARY (ADJUSTED AREA SHOWN HATCHED IN BLUE)

1 PROPOSED SITE PLAN - GLAR & PARKING ANALYSIS  
1 : 1000

**METHOD OF MEASUREMENT**

**GROSS LETTABLE AREA RETAIL (GLAR)**

REF: PROPERTY COUNCIL OF AUSTRALIA  
IS THE AGGREGATE OF FLOOR SPACE CONTAINED WITHIN A TENANCY AT EACH FLOOR LEVEL USING THE FOLLOWING RULES:

- (i) IN THE CASE OF EXTERNAL BUILDING WALLS, FIRE PASSAGE WALLS, SERVICE PASSAGE WALLS, STANDARD AND SERVICE FACILITY WALLS AND THE LIKE, MEASURING FROM THE INTERNAL FINISHED SURFACE OF THE DOMINANT PORTION OF THOSE WALLS;
- (ii) IN THE CASE OF INTER-TENANCY WALLS, MEASURING FROM THE CENTRE LINE OF THOSE WALLS;
- (iii) IN THE CASE OF SHOP FRONTS ON OR INSIDE THE MALL LINE, MEASURING FROM THE MALL LINE; AND,
- (iv) IN THE CASE OF SHOP FRONTS OUTSIDE THE MALL LINE, MEASURING FROM THE EXTERNAL FINISHED SURFACE OF THE DOMINANT PORTION OF THOSE WALLS.

BUT EXCLUDING:

- (v) AREAS PROVIDED AS STANDARD FACILITIES IN THE BUILDING
- (vi) AREAS SET ASIDE AS PUBLIC SPACES, THOROUGHFARES OR ACCESSWAYS FOR USE BY SERVICE VEHICLES AND FOR DELIVERY OF GOODS, WHERE SUCH AREAS ARE NOT FOR THE EXCLUSIVE USE OF OCCUPIERS OF A TENANCY; AND,
- (vii) AREAS WHERE THERE IS LESS THAN 1.5M HEIGHT CLEARANCE ABOVE FLOOR LEVEL - THESE SPACES SHOULD BE MEASURED AND RECORDED SEPARATELY.

GLAR SCHEDULE - BY TYPE	
NAME	AREA
STORE	44 m <sup>2</sup>
KIOSK	48 m <sup>2</sup>
MINI MAJOR	824 m <sup>2</sup>
RESTAURANT	518 m <sup>2</sup>
RETAIL	2885 m <sup>2</sup>
SUPERMARKET 1	3902 m <sup>2</sup>
SUPERMARKET 2	1691 m <sup>2</sup>
MEDICAL	1517 m <sup>2</sup>

**TOTAL GLAR = 11,430m<sup>2</sup>**

NOTE:  
GLAR AREA SCHEDULE EXCLUDE APPROVED EXISTING SITE, FUTURE FAST FOOD PAD SITE AND PETROL SITE.

PARKING SCHEDULE	
TYPE	COUNT
CAR 5400 X 2600MM	441
DISABLED 5400 X 2400MM	14
MOTORBIKE 2500 X 1200MM	21
BICYCLE	24

NOTE:  
PARKING SCHEDULE NUMBERS EXCLUDE APPROVED EXISTING SITE, FUTURE FAST FOOD PAD SITE AND PETROL SITE.

ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site. Written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

**Coordinated Reference Drawings**

Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
DART WEST DEVELOPMENTS  
SHOP 1, 33 VILLAGE CIRCUIT,  
GREGORY HILLS, NSW 2557  
T: (02) 4648 5511

**Project Manager**

**Architect**

BN Group Pty Ltd  
82 Alexander Street  
Crows Nest, NSW 2065  
ABN 43 092 960 499

T +61 2 9437 0511  
F +61 2 9437 0522  
www.bngrrouponline.com  
sydney@bngrrouponline.com

**Project**  
GREGORY HILLS TOWN CENTRE  
33 VILLAGE CIRCUIT, GREGORY HILLS  
NSW 2557  
LOT 3 DP 1192118

**Sheet name**  
GLAR & CARPARKING  
ANALYSIS

Scale @ A1: As indicated  
Project No.: S1517  
Drawn By: CF Checked By: AL

ADD SERIES - INFORMATION & ANALYSIS	
Drawing No.	Stage - Rev
A00.20	DA-03

# GREGORY HILLS TOWN CENTRE

## 33 VILLAGE CIRCUIT, GREGORY HILLS, NSW 2557

PREPARED BY BN GROUP PTY LTD  
82 ALEXANDER STREET, CROWS NEST NSW 2065

FOR DART WEST DEVELOPMENTS  
PROJECT NO. : S1517

REPORT STATUS	DATE
WORKPLACE HEALTH & SAFETY REPORT COMPLETED - DISCUSSED WITH & PROVIDED TO CLIENT ALONG WITH DRAWINGS	02.03.2016

## WORKPLACE HEALTH & SAFETY REPORT

Compiled in accordance with Work Health and Safety Act 2011.

### IDENTIFIED HAZARD AREAS

#### 1. FALLS, SLIPS, TRIPS

##### a) WORKING AT HEIGHTS

##### DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

##### DURING OPERATION OR MAINTENANCE

Cleaning and maintenance of windows, skylights, walls, roof, gutters, rooftop plant or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders, trestles or fall arrest systems should be used in accordance with relevant codes of practice, regulations and legislation. Any such devices are to comply with AS1657 *Fixed Platforms, Walkways and Ladders*, and AS1891.4 *Industrial Fall Arrest Systems and Devices* as required.

##### b) SLIPPERY OR UNEVEN SURFACES

##### FLOOR FINISHES

Specified finishes have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the architect or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

Surfaces should be selected in accordance with SA HB 198:2014 and AS 4586:2013.

##### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Steps and/or ramps installed during construction and demolition may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

#### 2. FALLING OBJECTS

##### LOOSE MATERIALS OR SMALL OBJECTS

Construction or demolition work on site is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

##### BUILDING COMPONENTS

During construction or demolition at this site, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

#### 3. TRAFFIC MANAGEMENT

Parking of vehicles or loading/unloading of vehicles on this site may cause a traffic hazard. During construction or demolition, a designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

Construction of this building may require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel

should be used to supervise loading/unloading areas.

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

#### 4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be engaged.

Underground power lines may be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

#### 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

#### 6. HAZARDOUS SUBSTANCES

##### ASBESTOS

Any buildings constructed prior to 1986 are likely to contain asbestos either in cladding material or in fire retardant insulation material. The site may contain burial of asbestos contaminated material that may have been placed on the site. The builder should check and, if necessary, take appropriate action before disturbing the existing site.

##### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

##### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions.

Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

##### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

#### 7. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

#### 8. OPERATIONAL USE OF BUILDING

This building has been designed to requirements of the specific building classification identified within the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken, in accordance with the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act. (Where the specific use of the building is not known at the time of the completion of this report and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end user.)

#### 9. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012* and all licensing requirements. All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work*. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

DA-03	20/10/2017	DEVELOPMENT APPLICATION
DA-01	02/03/2017	DEVELOPMENT APPLICATION

ISSUE	DATE	DESCRIPTION

All dimensions to be checked on site. Written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

Client
DART WEST DEVELOPMENTS SHOP 1, 33 VILLAGE CIRCUIT, GREGORY HILLS, NSW 2557 T: (02) 4648 5511
Project Manager

Architect	
 <b>BN</b> Architecture Urban Design Masterplanning Graphics Interiors	
BN Group Pty Ltd 82 Alexander Street Crows Nest, NSW 2065 ABN 43 082 960 499	T +61 2 9437 0511 F +61 2 9437 0522 www.bngrrouponline.com sydney@bngrrouponline.com

Project
GREGORY HILLS TOWN CENTRE 33 VILLAGE CIRCUIT, GREGORY HILLS NSW 2557 LOT 3 DP 1192118

Sheet name
SAFETY IN DESIGN STATEMENT
Scale @ A1: 1 : 1 Project No.: S1517 Drawn By: AL Checked By: MF

Drawing No.	Stage - Rev
A00.30	DA-03

DEVELOPMENT APPLICATION  
NOT FOR CONSTRUCTION



### SUN ANGLE CALCULATIONS

LOCATION	SYDNEY, AUSTRALIA	
LATITUDE	33.88 deg	
LONGITUDE	151.22 deg	
MAGNETIC VARIATION	TRUE NORTH 13 deg WEST OF M.M.	

SEPT 23rd & MAR 21st EQUINOXES		
TIME	AZIMUTH	ALTITUDE
9.00 AM	62 deg E	35 deg
12.00 PM	0 deg	58 deg
3.00 PM	62 deg W	35 deg

SHADOW CALCULATION IS GENERATED USING AUTODESK REVIT 2015 SOFTWARE.

DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

ISSUE	DATE	DESCRIPTION
All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.		

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	CARDNO
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN

**Client**  
**DART WEST DEVELOPMENTS**  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**  
 [Blank space for name]

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2065  
 ABN 43 092 960 499  
 T +61 2 9437 0511  
 F +61 2 9437 0522  
 www.bngrrouponline.com  
 sydney@bngrrouponline.com

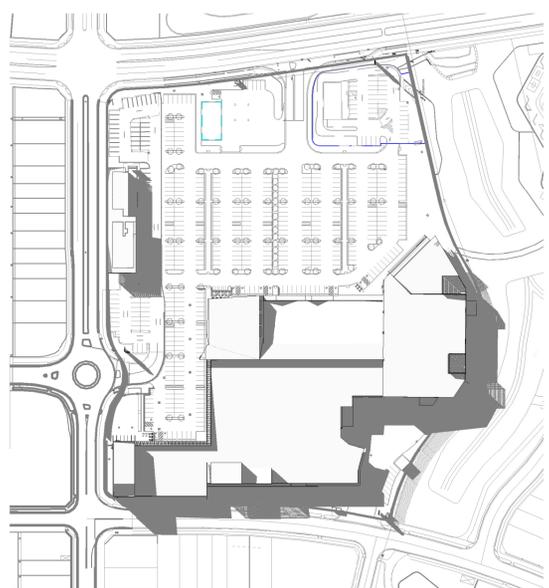
**Project**  
**GREGORY HILLS TOWN CENTRE**  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**  
**SOLAR STUDY**

Scale @ A1: As indicated  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

A00 SERIES - INFORMATION & ANALYSIS	
Drawing No.	Proj Stage ISSUE
A00.80	DA-03

**DEVELOPMENT APPLICATION**  
 NOT FOR CONSTRUCTION



1 WINTER SOLSTICE - 9AM  
1:2000



2 WINTER SOLSTICE - 12PM  
1:2000



3 WINTER SOLSTICE - 3PM  
1:2000



4 EQUINOX - 9AM  
1:2000



5 EQUINOX - 12PM  
1:2000



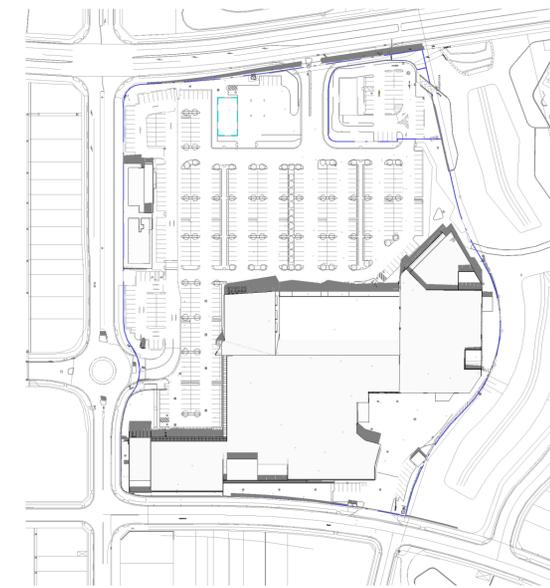
6 EQUINOX - 3PM  
1:2000



7 SUMMER SOLSTICE - 9AM  
1:2000

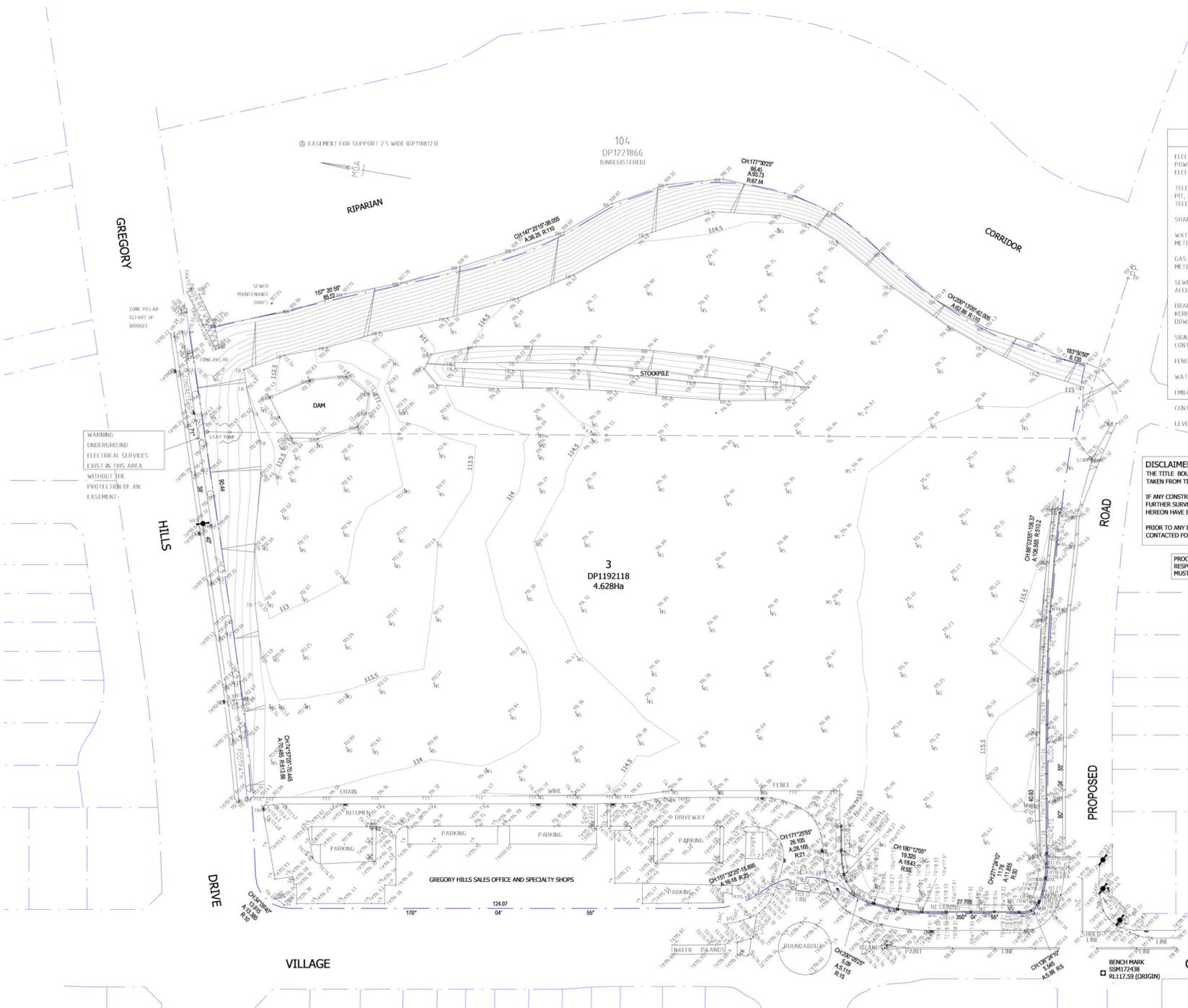


8 SUMMER SOLSTICE - 12PM  
1:2000



9 SUMMER SOLSTICE - 3PM  
1:2000

C:\Users\al\Documents\171010\_DA\_sun\_shadow\_S1517\_DA\_R15\_CTL.dwg PRINTED: 20/10/2017 2:38:13 PM



**LEGEND**

DESCRIPTION	EXISTING
ELECTRICITY (AERIAL), POWER POLE, POWER POLE & LIGHT, LIGHT POLE	PP ○ PPL ○ EP ○
ELECTRICITY (UNDERGROUND), PRLAB, PRT	EP ○
TELECOMMUNICATION CABLE (UNDERGROUND), PRT, ACCESS PIT, PRLAB, EQUIPMENT HOUSING	TEL ○
TELECOMMUNICATION CABLE (AERIAL), POLE	TEL ○
SHARED TELECOMMUNICATION/ELECTRICITY	TEL ○
WATER MAIN, METER, HYDRANT, STOP VALVE	WM ○
GAS MAIN, METER, MARKER, VALVE	○
SEWER MAIN, ACCESS CHAMBER, INSPECTION POINT, LAMP HOLE	○
DRAINAGE PIPE, KERB INLET PIT, SEALED PIT, GRATED PIT, DOWN PIPE, GUTTER OVERFLOW	○
SIGN (GENERAL), TRAFFIC LIGHT, TRAFFIC LIGHT CONTROL BOX	○
FENCE	○
WATER COURSE/TABLE DRAIN	○
EMBANKMENT/GUTTER	○
CONTOURS	○
LEVELS, TOP OF KERB LEVEL	○

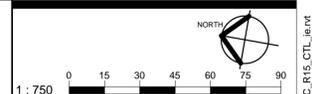
**DISCLAIMER**  
 THE TITLE BOUNDARIES AS SHOWN HEREON, HAVE NOT BEEN MARKED. BOUNDARY DIMENSIONS HAVE BEEN TAKEN FROM TITLE DIAGRAMS. THIS DETAIL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEYING ACT 2002.  
 IF ANY CONSTRUCTION IS PLANNED ESPECIALLY ON OR NEAR BOUNDARIES IT WOULD BE ADVISABLE TO HAVE FURTHER SURVEY WORK CARRIED OUT TO DETERMINE AVAILABLE BOUNDARY DIMENSIONS. SERVICES SHOWN HEREON HAVE BEEN LOCATED BY SURVEY. RECORDS OF RELEVANT AUTHORITIES HAVE NOT BEEN SEARCHED.  
 PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON SITE, THE RELEVANT AUTHORITIES SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.

[www.dialbeforeyoudig.com.au](http://www.dialbeforeyoudig.com.au)  
 DIAL 1100  
 BEFORE YOU DIG

**NOTE:**  
 THE CONTENT OF THIS DRAWING IS SUPPLIED BY LEAN LACKENBY & HAYWARD DATED 27.09.2016. FILE REFERENCE 59620. DRAWING NUMBER 59620 LD REVISION A.  
 THE DRAWING IS SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR CONSENT OF THE AUTHOR.

1 EXISTING - SURVEY PLAN  
 1:750



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

**Coordinated Reference Drawings**

Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
 DART WEST DEVELOPMENTS  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**  

 Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd  
 82 Alexander Street  
 Cross Keys, NSW 2085  
 ABN 43 092 960 499  
 T +61 2 9437 0511  
 F +61 2 9437 0522  
 www.bngrrouponline.com  
 sydney@bngrrouponline.com

**Project**  
 GREGORY HILLS TOWN CENTRE  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**  
 EXISTING - SURVEY PLAN

Scale @ A1: As indicated  
 Project No.: S1517  
 Drawn By: Checked By: AL

Drawing No.	Stage - Rev
A01.00	DA-03

DEVELOPMENT APPLICATION  
 NOT FOR CONSTRUCTION

C:\Users\ale\Documents\S1517\_CC\_R15\_CTL.rvt  
 PRINTED: 20/10/2017 2:20:18 PM



1 EXISTING AND DEMOLITION - SITE PLAN  
1:1000

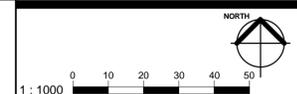
**LEGEND:**

= DEMOLITION/ MODIFICATION WORKS

CODE	DESCRIPTION
DM-01	REMOVE EXISTING FENCE AND GATES

**NOTE:**

- 1) EXISTING ROADS, KERBS, PAVEMENTS AND BATTERS DEMOLITION / MODIFICATION SCOPE REFER CIVIL ENG'S DRAWINGS.
- 2) TOP SOIL AND BULK EARTHWORKS CUT AND FILL DESIGN TO CIVIL ENG'S FUTURE DETAILS.
- 3) EXISTING SERVICES MODIFICATION TO SERVICES ENG'S FUTURE DETAILS.
- 4) RIPARIAN CORRIDOR WORKS REFER TO LANDSCAPE DRAWINGS AND VEGETATION MANAGEMENT PLAN AS CONTAINED IN DA 949/2016.



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site. Written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

**Coordinated Reference Drawings**

Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
DART WEST DEVELOPMENTS  
SHOP 1, 33 VILLAGE CIRCUIT,  
GREGORY HILLS, NSW 2557  
T: (02) 4648 5511

**Project Manager**

**Architect**  
**BN** Architecture  
Urban Design  
Masterplanning  
Graphics  
Interiors  
BN Group Pty Ltd T +61 2 9437 0511  
82 Alexander Street F +61 2 9437 0522  
Crows Nest, NSW 2065 www.bngrrouponline.com  
ABN 43 092 960 499 sydney@bngrrouponline.com

**Project**  
GREGORY HILLS TOWN CENTRE  
33 VILLAGE CIRCUIT, GREGORY HILLS  
NSW 2557  
LOT 3 DP 1192118

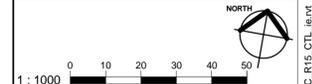
**Sheet name**  
EXISTING & DEMOLITION -  
SITE PLAN

Scale @ A1: As indicated  
Project No.: S1517  
Drawn By: CF Checked By: AL

Drawing No.	Stage - Rev
A01 SERIES - EXISTING & DEMOLITION	

DEVELOPMENT APPLICATION  
NOT FOR CONSTRUCTION

A01.01 DA-03



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
 DART WEST DEVELOPMENTS  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2085 www.bngrrouponline.com  
 ABN 43 092 960 499 sydney@bngrrouponline.com

**Project**  
 GREGORY HILLS TOWN CENTRE  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**  
 PROPOSED SITE PLAN -  
 ROOF LEVEL

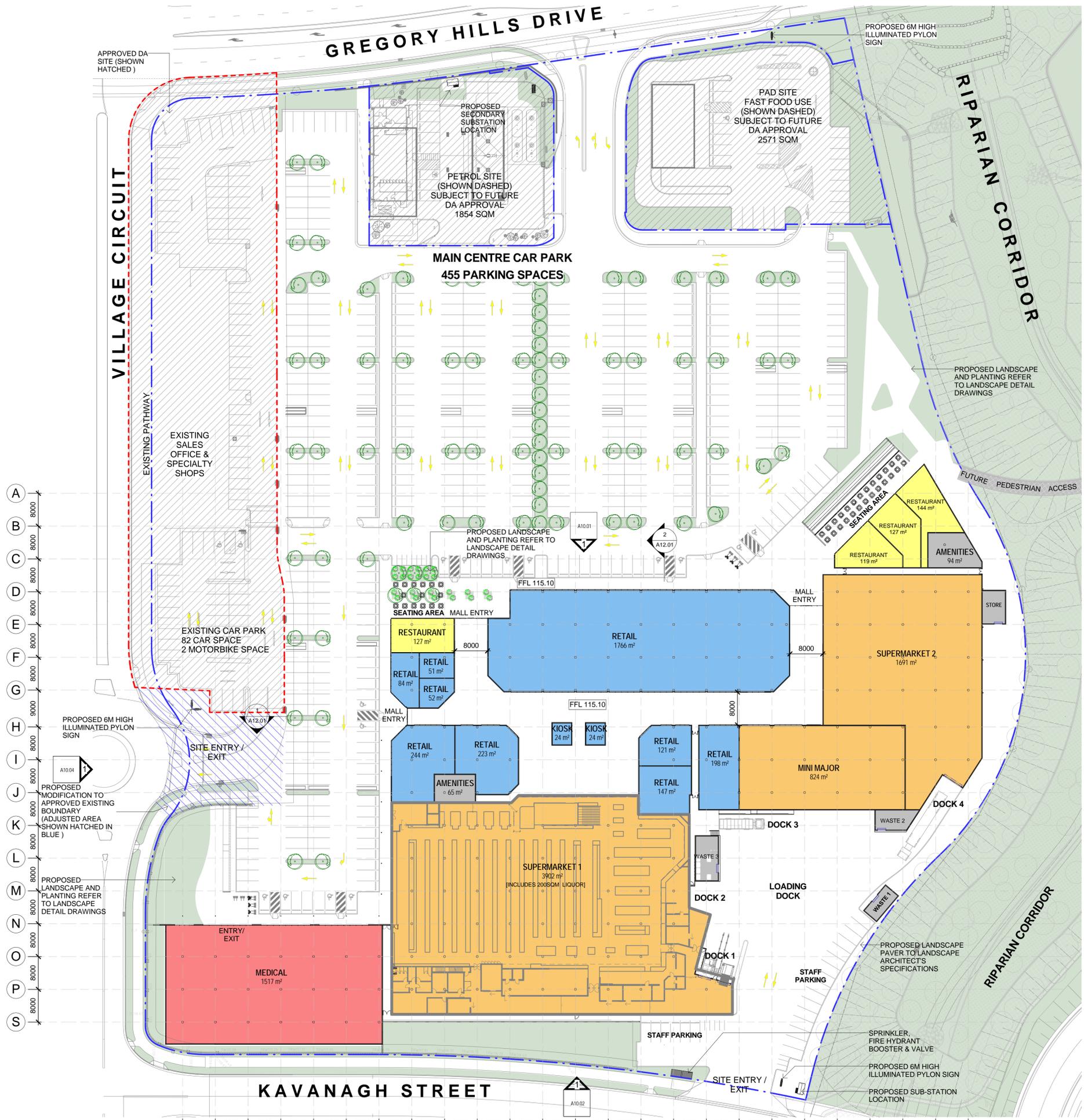
Scale @ A1: 1:1000  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

A02 SERIES - GENERAL ARRANGEMENT PLANS	
Drawing No.	Stage - Rev
A02.01	DA-03

1 PROPOSED SITE PLAN - ROOF LEVEL  
 1:1000

DEVELOPMENT APPLICATION  
 NOT FOR CONSTRUCTION

PRINTED: 20/10/2017 2:46:43 PM



GLAR SCHEDULE - BY TYPE		
NAME	AREA	
STORE	44 m <sup>2</sup>	
KIOSK	48 m <sup>2</sup>	
MINI MAJOR	824 m <sup>2</sup>	
RESTAURANT	518 m <sup>2</sup>	
RETAIL	2885 m <sup>2</sup>	
SUPERMARKET 1	3902 m <sup>2</sup>	
SUPERMARKET 2	1691 m <sup>2</sup>	
MEDICAL	1517 m <sup>2</sup>	
PROPOSED TOTAL GLAR		11,430 SQM

PARKING SCHEDULE	
TYPE	COUNT
CAR 5400 X 2600	441
DISABLED 5400 X 2400	14
MOTORBIKE 2500 X 1200	21
BICYCLE	24

NOTE:  
 1) PARKING SCHEDULE NUMBERS EXCLUDE APPROVED EXISTING SITE, FUTURE FAST FOOD PAD SITE AND PETROL SITE.  
 2) EACH BICYCLE RACK SHOWN ACCOMMODATES 4X BICYCLE SPACES.



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site. Written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is un-checked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
 DART WEST DEVELOPMENTS  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2085 www.bngronline.com  
 ABN 43 092 960 499 sydney@bngronline.com

**Project**  
 GREGORY HILLS TOWN CENTRE  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**  
 PROPOSED FLOOR PLAN -  
 GROUND LEVEL

Scale @ A1: 1:500  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

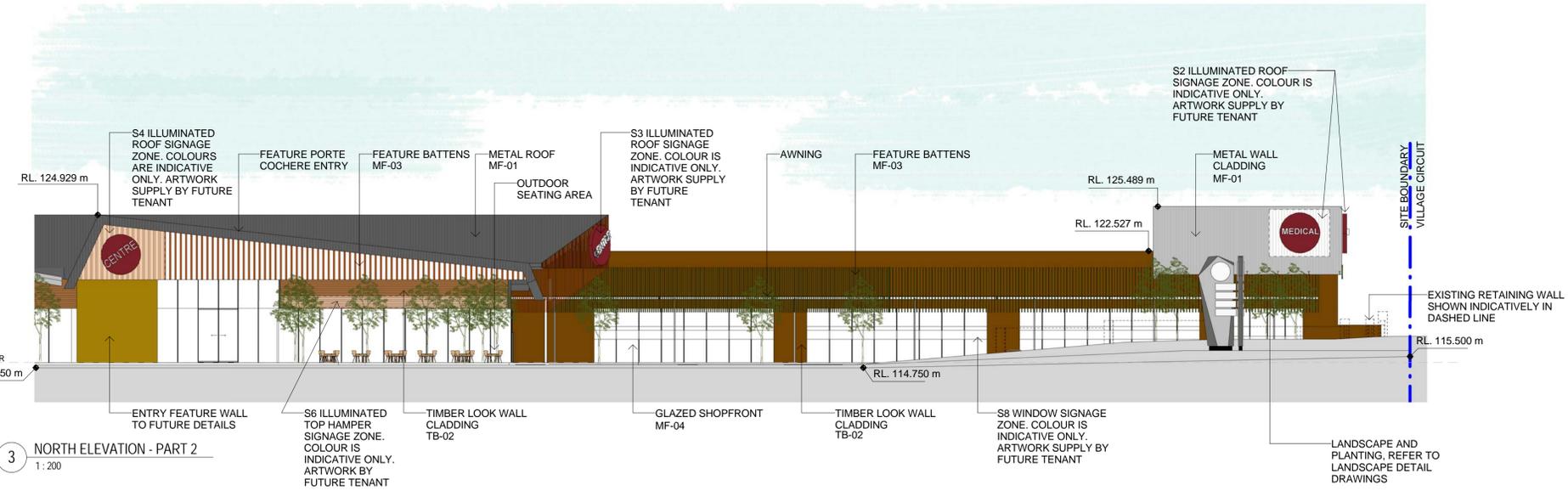
ADP SERIES - SETOUT PLANS  
 Drawing No. Stage - Rev  
**A06.01 DA-03**

**DEVELOPMENT APPLICATION**  
 NOT FOR CONSTRUCTION

1 PROPOSED FLOOR PLAN - GROUND LEVEL  
 1:500

C:\Users\Documents\51517\_GG\_RTE\_CTL\_16.rvt PRINTED: 20/10/2017 2:47:35 PM





**NOTES:**  
 1. COLOURS ARE SHOWN TO INDICATE NEW WORK AND DO NOT REPRESENT MATERIAL FINISHES.

DA-03 | 20-10-2017 | DEVELOPMENT APPLICATION  
 DA-02 | 11-05-2017 | DEVELOPMENT APPLICATION  
 DA-01 | 02-03-2017 | DEVELOPMENT APPLICATION

ISSUE	DATE	DESCRIPTION

All dimensions to be checked on site. Written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

**Coordinated Reference Drawings**

Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	CARDNO
CIVIL	CARDNO
MECHANICAL	CARDNO
HYDRAULIC	CARDNO
ELECTRICAL	CARDNO
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	DISTINCTIVE LIVING DESIGN

**Client**

DART WEST DEVELOPMENTS  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**

**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2065 www.bngrrouponline.com  
 ABN 43 082 960 499 sydney@bngrrouponline.com

**Project**

GREGORY HILLS TOWN CENTRE  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**

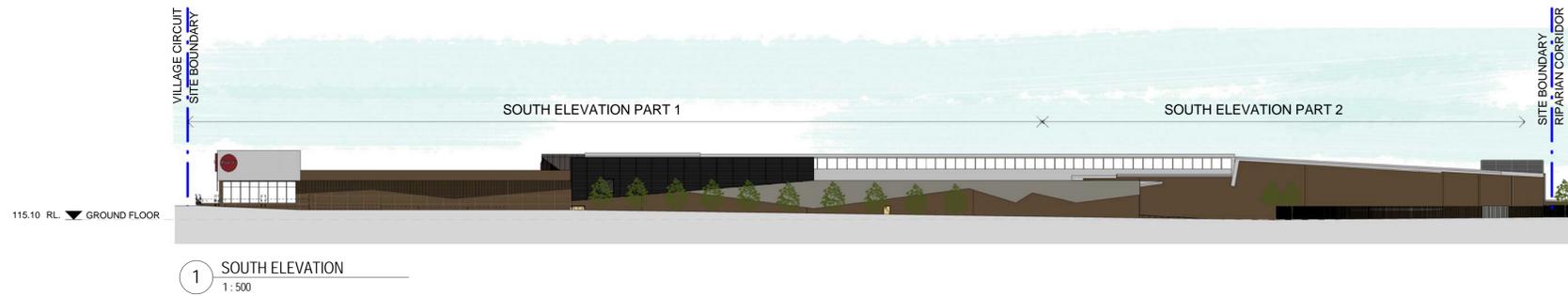
PROPOSED ELEVATIONS - NORTH

Scale @ A1: As indicated  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

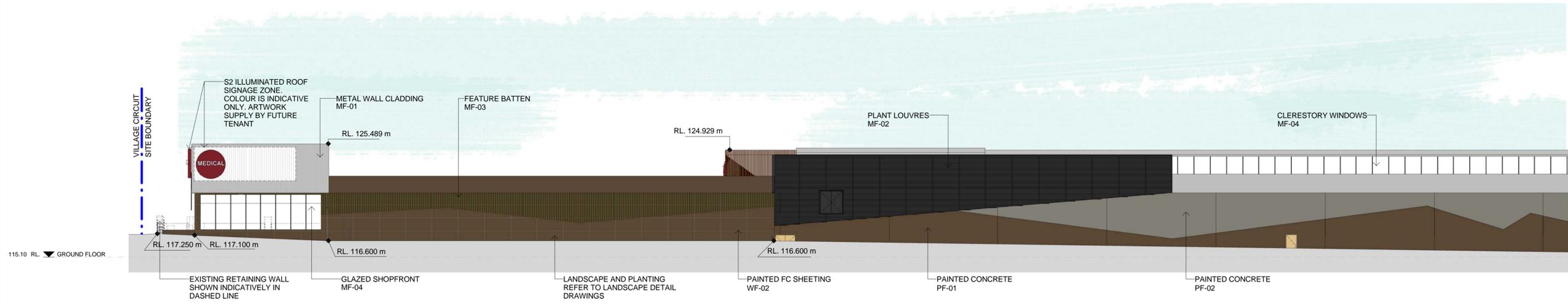
A10 SERIES - EXTERNAL ELEVATIONS  
 Drawing No. Stage - Rev

A10.01 DA-03

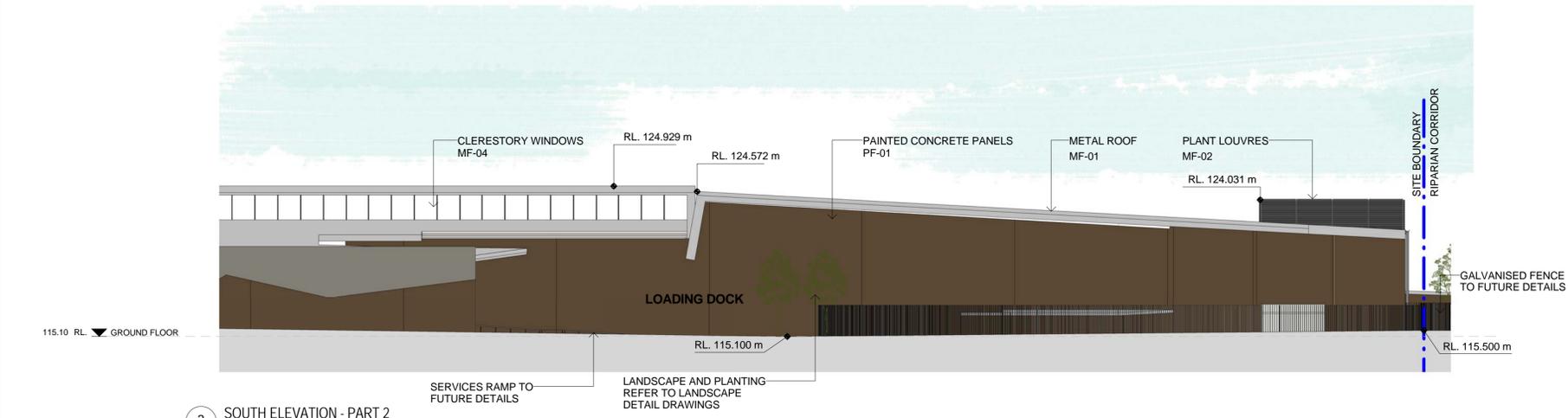
CL:\user\Documents\S1517\_GC\_R15\_CTL\_je.rvt PRINTED: 20/10/2017 2:27:59 PM



1 SOUTH ELEVATION  
1:500



2 SOUTH ELEVATION - PART 1  
1:200



3 SOUTH ELEVATION - PART 2  
1:200



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
**DART WEST DEVELOPMENTS**  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2085 www.bngrrouponline.com  
 ABN 43 082 960 499 sydney@bngrrouponline.com

**Project**  
**GREGORY HILLS TOWN CENTRE**  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**  
**PROPOSED ELEVATIONS - SOUTH**

Scale @ A1: As indicated  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

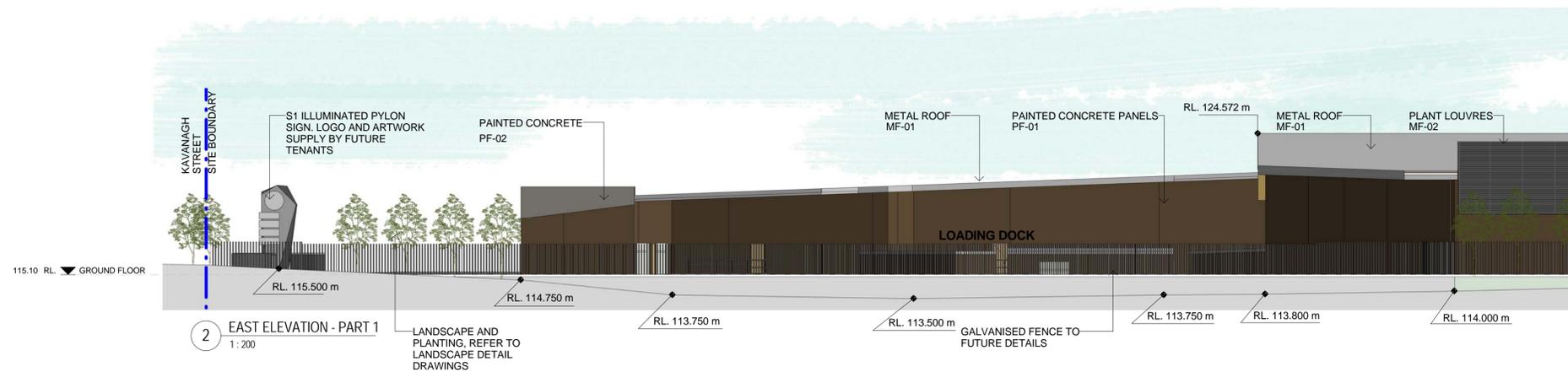
A10 SERIES - EXTERNAL ELEVATIONS	
Drawing No.	Stage - Rev
A10.02	DA-03

**DEVELOPMENT APPLICATION**  
 NOT FOR CONSTRUCTION

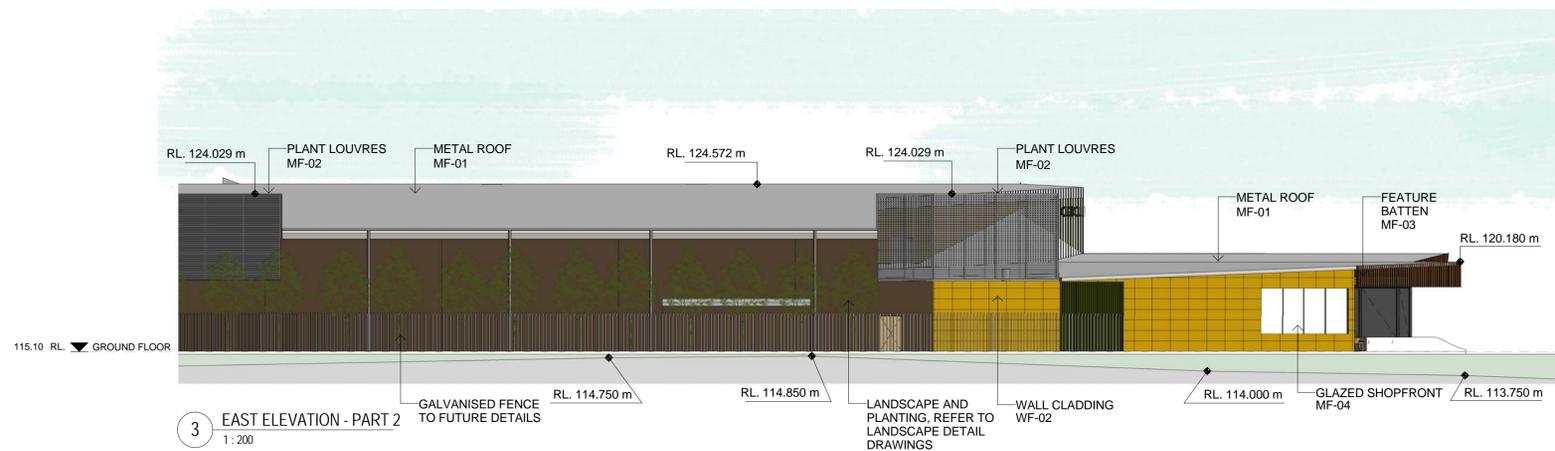
C:\Users\el\Documents\S1517\_GC\_R15\_CTL.isvt PRINTED: 20/10/2017 2:28:42 PM



1 EAST ELEVATION  
1:500



2 EAST ELEVATION - PART 1  
1:200



3 EAST ELEVATION - PART 2  
1:200



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
**DART WEST DEVELOPMENTS**  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**  
 \_\_\_\_\_

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2065 www.bngrrouponline.com  
 ABN 43 082 960 499 sydney@bngrrouponline.com

**Project**  
**GREGORY HILLS TOWN CENTRE**  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

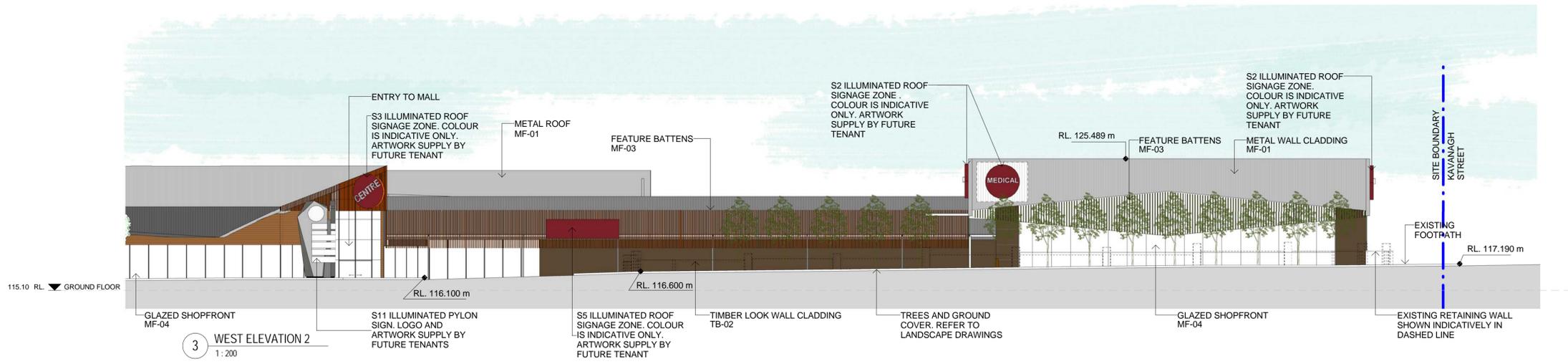
**Sheet name**  
**PROPOSED ELEVATIONS - EAST**

Scale @ A1: As indicated  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

A10 SERIES - EXTERNAL ELEVATIONS	
Drawing No.	Stage - Rev
A10.03	DA-03

**DEVELOPMENT APPLICATION**  
 NOT FOR CONSTRUCTION

C:\Users\al\Documents\S1517\_CC\_R15\_CTL\_1a.rvt PRINTED: 20/10/2017 2:53:44 PM



ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
**DART WEST DEVELOPMENTS**  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2065 www.bngrrouponline.com  
 ABN 43 082 960 499 sydney@bngrrouponline.com

**Project**  
**GREGORY HILLS TOWN CENTRE**  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

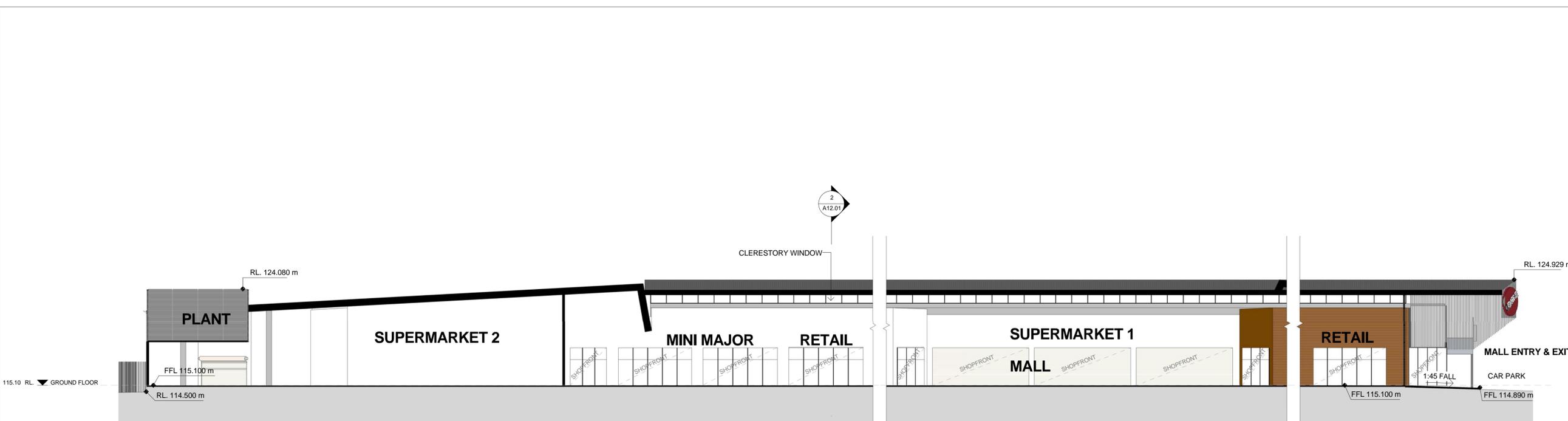
**Sheet name**  
**PROPOSED ELEVATIONS - WEST**

Scale @ A1: As indicated  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

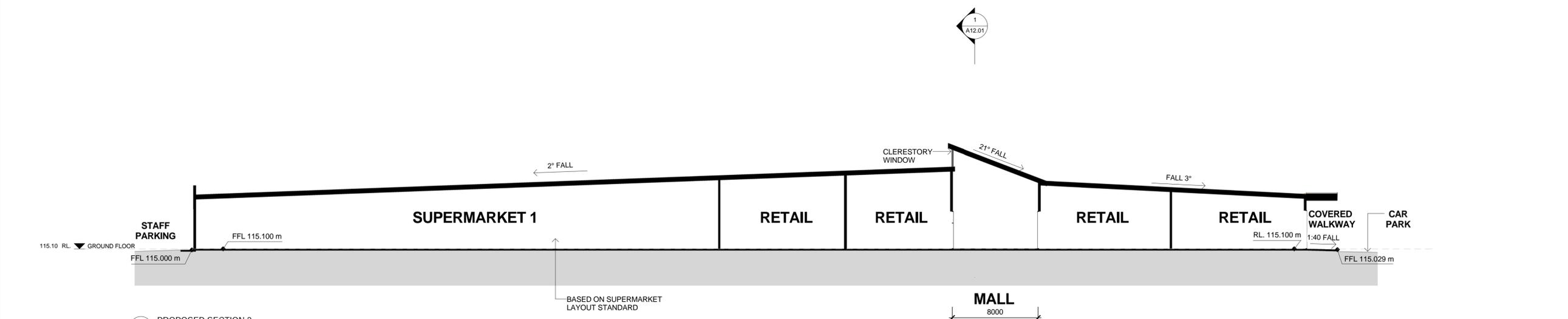
A10 SERIES - EXTERNAL ELEVATIONS	
Drawing No.	Stage - Rev
A10.04	DA-03

**DEVELOPMENT APPLICATION**  
 NOT FOR CONSTRUCTION

C:\Users\bn\Documents\S1517\_CC\_R15\_CTL\_let.rvt PRINTED: 20/10/2017 2:30:55 PM



1 PROPOSED SECTION 1  
1:200



2 PROPOSED SECTION 2  
1:200



DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

ISSUE	DATE	DESCRIPTION

All dimensions to be checked on site. Written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
 DART WEST DEVELOPMENTS  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**  
 [Blank]

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2065 www.bngronline.com  
 ABN 43 082 960 499 sydney@bngronline.com

**Project**  
 GREGORY HILLS TOWN CENTRE  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**  
 PROPOSED SITE SECTIONS

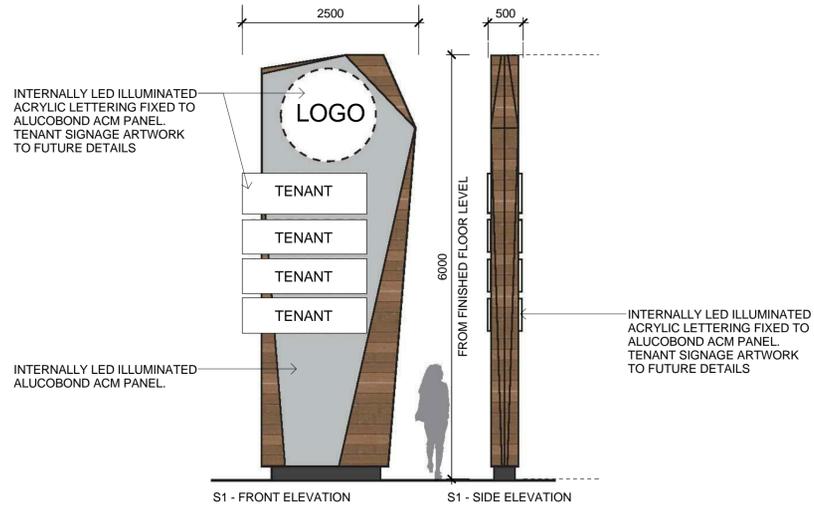
Scale @ A1: 1:200  
 Project No.: S1517  
 Drawn By: CF Checked By: AL

A12 SERIES - SECTIONS	
Drawing No.	Stage - Rev
A12.01	DA-03

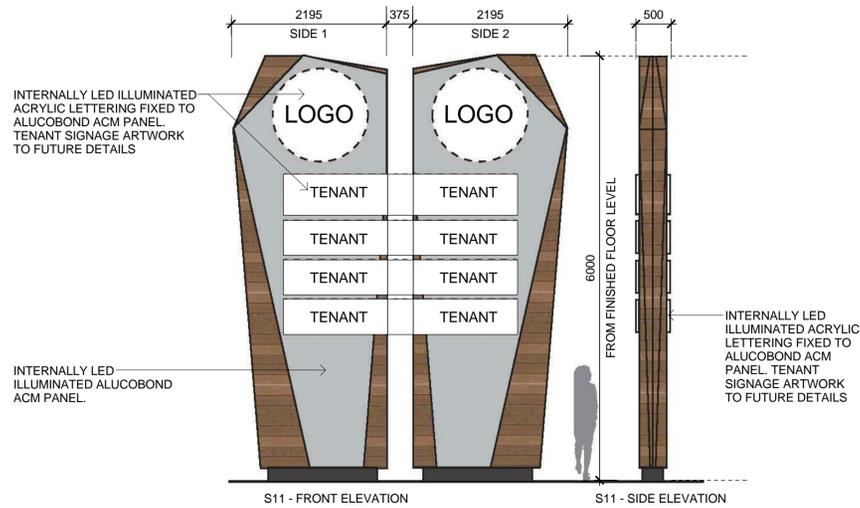
DEVELOPMENT APPLICATION  
 NOT FOR CONSTRUCTION

C:\Users\el\Documents\S1517\_CC\_R15\_CTL\_je.rvt

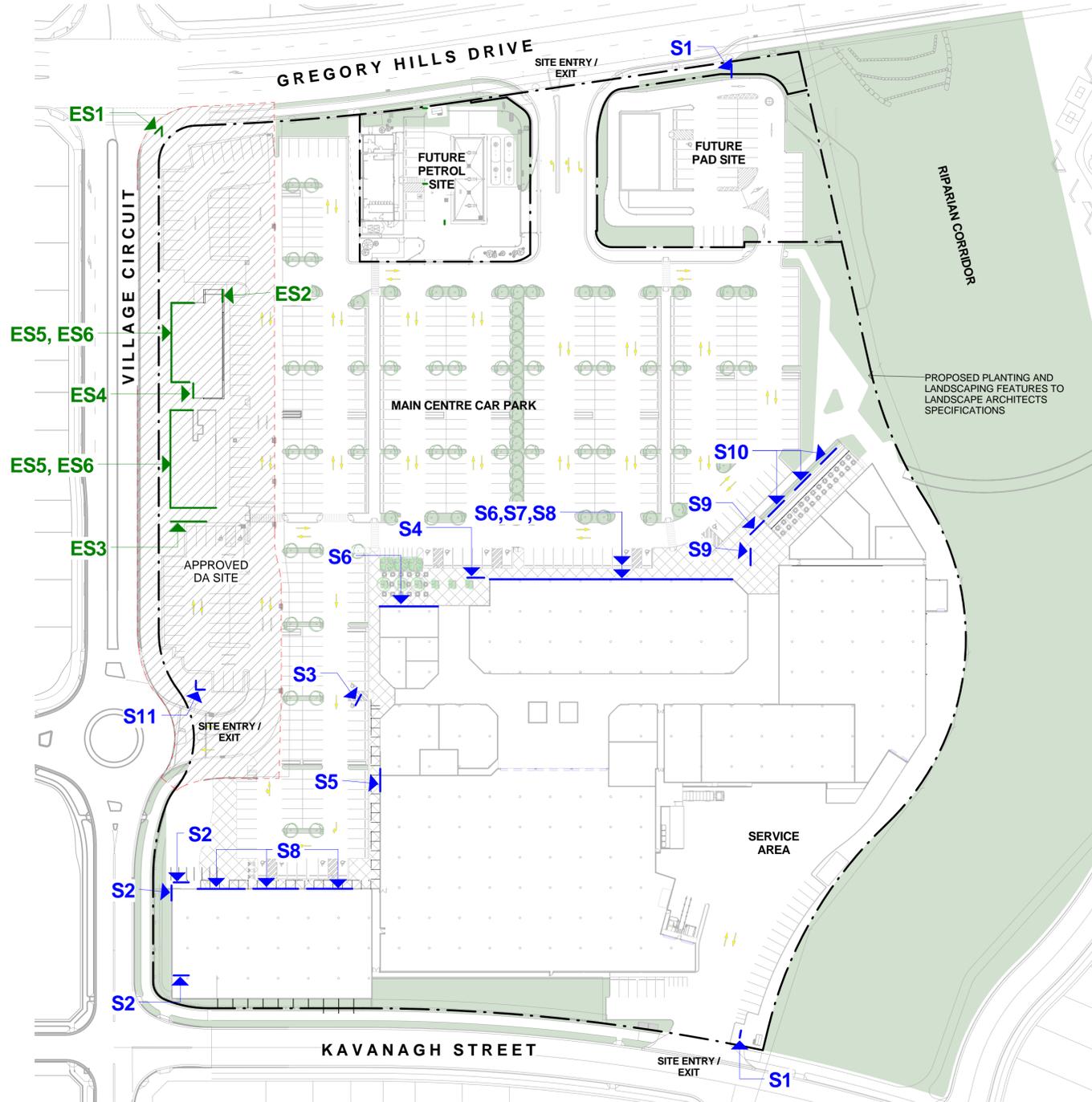
PRINTED: 20/10/2017 2:31:28 PM



2 S1 ILLUMINATED PYLON SIGN  
1:50



3 S11 V-SHAPE ILLUMINATED PYLON SIGN  
1:50



1 PROPOSED - SIGNAGE KEY PLAN  
1:750

**SIGNAGE LEGEND**

- PROPOSED NEW CENTRE /TENANT SIGNAGE/ PYLON
- EXISTING DA APPROVED SIGNAGE
- ES1** APPROVED PYLON SIGN 6.0m HIGH x 2.84m WIDE
- ES2** APPROVED WALL SIGN 1.8m HIGH x 1.8m WIDE
- ES3** APPROVED ROOF SIGN 3.62m HIGH x 9.6m WIDE
- ES4** APPROVED WALL SIGN 1.8m HIGH x 1.8m WIDE
- ES5** APPROVED TOP HAMPER SIGN 0.8m HIGH
- ES6** APPROVED PROJECTING WALL SIGN 0.9m HIGH x 0.9m WIDE
- S1** PROPOSED ILLUMINATED PYLON SIGN 6.0m HIGH x 2.5m WIDE
- S2** PROPOSED ILLUMINATED ROOF SIGN 3.1m HIGH x 4.0m WIDE
- S3** PROPOSED ILLUMINATED ROOF SIGN 3.52m HIGH x 3.79m WIDE
- S4** PROPOSED ILLUMINATED ROOF SIGN 3.65m HIGH x 5.5m WIDE
- S5** PROPOSED ILLUMINATED WALL SIGN 1.5m HIGH x 5.8m WIDE
- S6** PROPOSED ILLUMINATED TOP HAMPER SIGN 0.8m HIGH
- S7** PROPOSED ILLUMINATED PROJECTING WALL SIGN 0.9m HIGH x 0.9m WIDE
- S8** PROPOSED WINDOW SIGN 0.6m HIGH
- S9** PROPOSED ILLUMINATED ROOF SIGN 3.3m HIGH x 3.3m WIDE
- S10** PROPOSED ILLUMINATED ROOF SIGN 0.7m HIGH x 6.0m WIDE
- S11** PROPOSED V-SHAPE ILLUMINATED PYLON SIGN 6.0m HIGH x 2x 2.195m WIDE

NOTE:

1. REFER ELEVATION DRAWINGS FOR LOCATION AND ELEVATION DETAILS OF S2 - S10 SIGNAGE ZONES

ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-02	11-05-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site. Written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

**Coordinated Reference Drawings**

Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	CARDNO
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**

**DART WEST DEVELOPMENTS**  
SHOP 1, 33 VILLAGE CIRCUIT,  
GREGORY HILLS, NSW 2557  
T: (02) 4648 5511

**Project Manager**

**Architect**

**BN** Architecture  
Urban Design  
Masterplanning  
Graphics  
Interiors

BN Group Pty Ltd T +61 2 9437 0511  
82 Alexander Street F +61 2 9437 0522  
Crows Nest, NSW 2065 www.bngronline.com  
ABN 43 092 960 499 sydney@bngronline.com

**Project**

**GREGORY HILLS TOWN CENTRE**  
33 VILLAGE CIRCUIT, GREGORY HILLS  
NSW 2557  
LOT 3 DP 1192118

**Sheet name**

**PROPOSED SIGNS & DISPLAYS**

Scale @ A1: As indicated  
Project No.: S1517  
Drawn By: AL Checked By: MF

Drawing No.	Stage	Rev
A60 SERIES - SIGNS & DISPLAYS		

**DEVELOPMENT APPLICATION**  
NOT FOR CONSTRUCTION

**A60.01** **DA-03**

KEY PLAN



1 PERSPECTIVE VIEW 1

KEY PLAN



2 PERSPECTIVE VIEW 2

KEY PLAN



3 PERSPECTIVE VIEW 3

KEY PLAN



4 PERSPECTIVE VIEW 4

DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

ISSUE	DATE	DESCRIPTION
-------	------	-------------

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

**Coordinated Reference Drawings**

Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**

DART WEST DEVELOPMENTS  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**

**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors

BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2065  
 ABN 43 082 960 499

T +61 2 9437 0511  
 F +61 2 9437 0522  
 www.bngrrouponline.com  
 sydney@bngrrouponline.com

**Project**

GREGORY HILLS TOWN CENTRE  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**

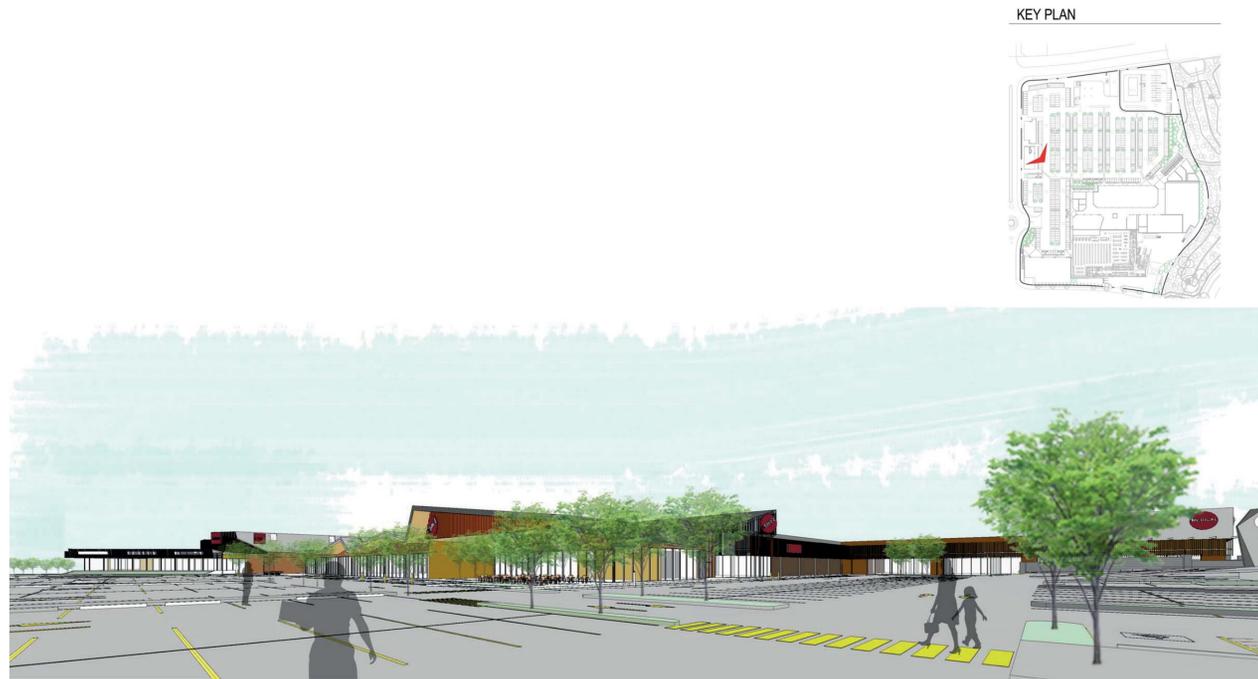
PERSPECTIVES

Scale @ A1:  
 Project No.: S1517  
 Drawn By: Author Checked By: Checker

Drawing No. Stage - Rev

A100.10 DA-03

DEVELOPMENT APPLICATION  
 NOT FOR CONSTRUCTION



1 PERSPECTIVE VIEW 5



2 PERSPECTIVE VIEW 6



3 PERSPECTIVE VIEW 7



4 PERSPECTIVE VIEW 8

ISSUE	DATE	DESCRIPTION
DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

**Coordinated Reference Drawings**

Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**

DART WEST DEVELOPMENTS  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**

**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd T +61 2 9437 0511  
 82 Alexander Street F +61 2 9437 0522  
 Crows Nest, NSW 2065 www.bngrrouponline.com  
 ABN 43 092 960 499 sydney@bngrrouponline.com

**Project**

GREGORY HILLS TOWN CENTRE  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

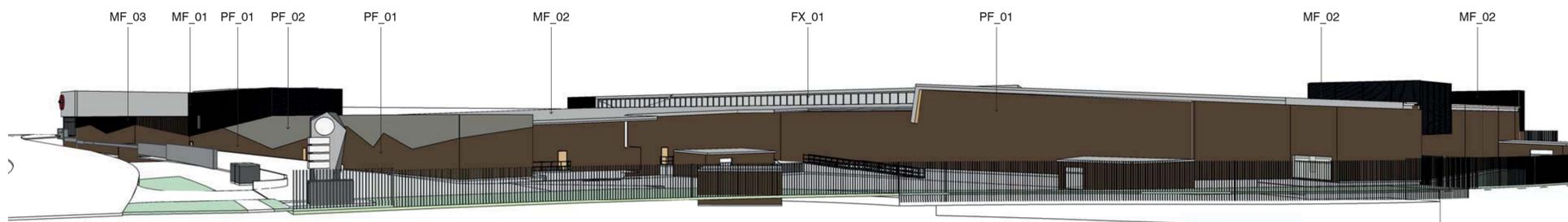
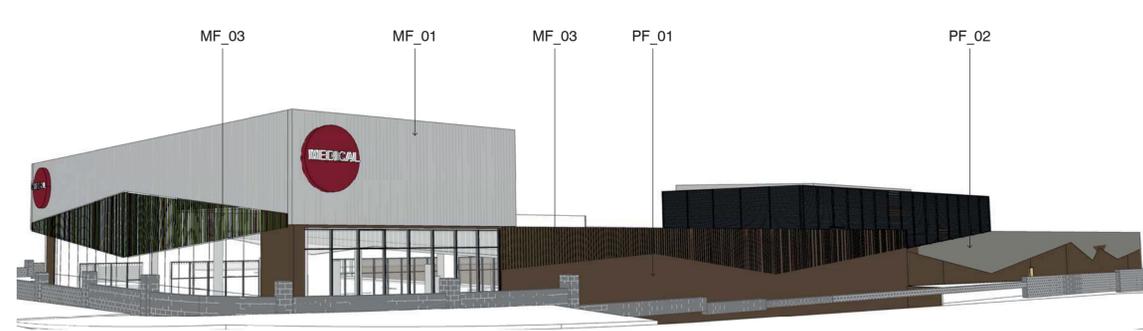
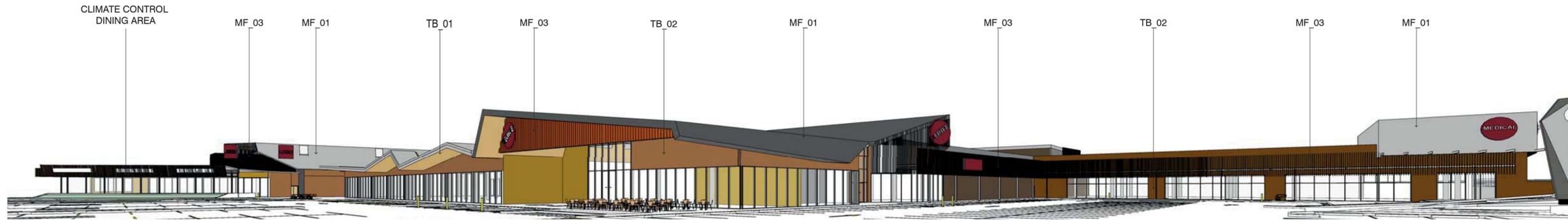
**Sheet name**

PERSPECTIVES

Scale @ A1: S1517  
 Project No.:  
 Drawn By: CF Checked By: AL

Drawing No.	Stage - Rev
A100.11	DA-03

DEVELOPMENT APPLICATION  
 NOT FOR CONSTRUCTION



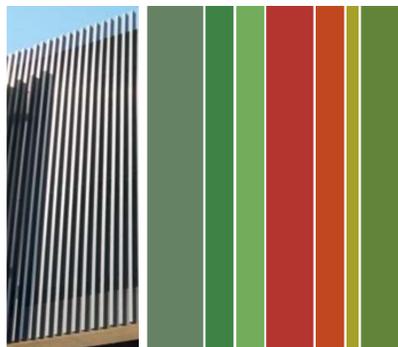
MF\_01 METAL PROFILED SHEETING



MF\_02 LOUVRE



FX\_01 CLERESTORY WINDOWS CONCEPT IMAGE



MF\_03 METAL BLADES, SHADES OF GREEN TO RED



TB\_01 TIMBER LOOK PANELS



TB\_02 TIMBER LOOK PANNELLING



CLIMATE CONTROLLED DINING SPACE CONCEPT IMAGE



PF\_01 & PF\_02 PAINTED CONCRETE



ARBOUR WITH LANDSCAPING CONCEPT IMAGE



WF\_02 PAINTED FC SHEETING



MF\_04 GLAZING FRAMING

CLIMATE CONTROLLED DINING SPACE, INCLUDING BLINDS, FANS AND HEATER



WF\_03 LOW LEVEL BRICKS TO EXTERNAL DINING



LANDSCAPING

DA-03	20-10-2017	DEVELOPMENT APPLICATION
DA-01	02-03-2017	DEVELOPMENT APPLICATION
ISSUE	DATE	DESCRIPTION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	LEAN LACKENBY & HAYWARD
STRUCTURE	
CIVIL	CARDNO
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	DISTINCTIVE LIVING DESIGN
FIRE	

**Client**  
**DART WEST DEVELOPMENTS**  
 SHOP 1, 33 VILLAGE CIRCUIT,  
 GREGORY HILLS, NSW 2557  
 T: (02) 4648 5511

**Project Manager**

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2065  
 ABN 43 082 960 499  
 T +61 2 9437 0511  
 F +61 2 9437 0522  
 www.bngrrouponline.com  
 sydney@bngrrouponline.com

**Project**  
**GREGORY HILLS TOWN CENTRE**  
 33 VILLAGE CIRCUIT, GREGORY HILLS  
 NSW 2557  
 LOT 3 DP 1192118

**Sheet name**  
**MATERIALS SAMPLE BOARD**

Scale @ A1:  
 Project No.: S1517  
 Drawn By: TM  
 Checked By: AL

A100 SERIES - INFORMATION & ANALYSIS	
Drawing No.	Stage - Rev

**A100.90** **DA-03**

**DEVELOPMENT APPLICATION**  
 NOT FOR CONSTRUCTION